



City of Mercer Island
Community Planning & Development
Project Number: **2502-039**
Grace Manahan

Hello Grace

Below you will find the response to your field request dated 9/21/2025 for the above noted project. If you have any questions regarding the responses or would like me to clarify something you will find all of my contact information below. Thanks.

1. Cover Sheet Architectural set – comments addressed “response comment added and posted on provided PDF”
2. New – Site Development worksheet – filled out and provided “attached to this response letter” “response comment added and posted on provided PDF”
3. Site Plan/ Arborist comments addressed - “response comment added and posted on provided PDF”
4. TESC/ Site Plan – Comments addressed by Goodman Engineering PLLC “response comment added and posted on provided PDF”
5. New Arborist report provided “attached to this response letter as well “response comment added and posted on provided PDF”

Architecture + Construction

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CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org

Inspection Requests: Online: www.mybuildingpermit.com VM: 206.275.7730



SITE DEVELOPMENT INFORMATION

Worksheet for single family residential development

PROJECT INFORMATION

Permit Number: _____ Parcel Number: _____
Site Address: _____ Phone Number: _____
Owner Name: _____ Date: _____
Signature & phone number of Individual who completed this worksheet: _____

Signature

Phone Number

GENERAL INFORMATION

Will any large trees be removed as a result of this development activity? Yes No

Large tree- trees with diameter of greater than or equal to 10 inches.

Do you have an Accessory Dwelling Unit? New ADU Existing ADU No

Will you be adding air conditioning to the proposed development? Yes No

What is the total square footage of all proposed decks
(covered and uncovered) on the property? _____ Square Feet

This is a worksheet and is not a substitute for the Mercer Island Development Regulations. Please consult the Mercer Island City Code. The City may require additional information to be supplied to document compliance with regulations.

LOT SLOPE

According to the Mercer Island City Code, slope is a measurement of the average incline of the lot or other piece of land calculated by subtracting the lowest elevation of the property from the highest elevation and dividing the resulting number by the shortest horizontal distance between these two points. The resulting product is multiplied by 100.

LOT SLOPE CALCULATIONS

Highest Elevation Point of Lot: _____ Feet

Lowest Elevation Point of Lot: _____ Feet

Elevation Difference: _____ Feet

Horizontal Distance Between High and Low Points: _____ Feet

Lot Slope* _____ %

**Lot slope is the elevation difference divided by horizontal distance multiplied by 100.*

Lot slope calculations shown on Sheet # _____

LOT COVERAGE

For single family residential development, “lot coverage” is the area of a lot that may be covered by a combination of the buildings and vehicular driving surfaces. Lot coverage is based on “net lot area”. Net lot area is the size of the lot minus the area within any access easements on the property that do not provide access to the home on the subject lot. The maximum lot coverage for a specific lot is based upon the lots slope (see above). The area of the lot that cannot be used for lot coverage is “required landscaping area”; the landscaping area is typically improved with either hardscape (see below) or softscape.

Please note: Lot coverage is not the same as impervious surface calculations used for drainage review.

Lot Slope	Maximum Lot Coverage (House, driving surfaces, and accessory buildings)	Required Landscaping Area
Less than 15%	40%	60%
15% to less than 30%	35%	65%
30% to 50%	30%	70%
Greater than 50% slope	20%	80%

ADJUSTMENTS

A one-time reduction in the required landscaping area and an increase in the allowed maximum lot coverage is allowed if:

- A. The total reduction in required landscaping area shall not exceed 5%, and the total increase in maximum lot coverage shall not exceed 5%; and
- B. The reduction in required landscaping area is associated with:
 - 1. A development proposal that will result in a single-story dwelling with wheelchair accessible entry, and may also include a single-story accessory building; or
 - 2. A development proposal on a flag lot that, after optimizing driveway routing and minimizing driveway width, requires a driveway that is more than the 25% of the allowed lot coverage. The allowed reduction in the required landscaping area and increase in the maximum lot coverage shall not exceed 5% or the area of the driveway in excess of 25% of the lot coverage, whichever is less. For example, a development proposal with a driveway that occupies 27% of the allowed lot coverage, may increase the total lot coverage by 2%
- C. A recorded notice on title, covenant, easement, or other documentation in a form approved by the city, shall be required. The notice on title or other documentation shall describe the basis for the reduced landscaping area an increase in lot coverage.

Does this project include a proposed adjustment? Yes No

LOT COVERAGE CALCULATIONS

- A. Gross Lot Area _____ Square Feet
- B. Net Lot Area _____ Square Feet
- C. Allowed Lot Coverage Area _____ Square Feet
- D. Allowed Lot Coverage _____ % of Lot
- E. Existing Lot Coverage:
 - 1. Main Structure Roof Area _____ Square Feet
 - 2. Accessory Building Roof Area _____ Square Feet
 - 3. Vehicular Use (driveway, paved access easements [portion used by the lot for access], parking _____ Square Feet
 - 4. Covered Patios and Covered Decks _____ Square Feet

5. Total Existing Lot Coverage Area (E1+E2+E3+E4)	_____	Square Feet
F. (Total Lot Coverage Area Removed)	_____	Square Feet
G. Proposed Adjustment for Single Story (Area)	_____	Square Feet
H. Proposed Adjustment for Flag Lot	_____	Square Feet
I. Total New Lot Coverage Area:		
1. Main Structure Roof Area	_____	Square Feet
2. Accessory Structure Roof Area	_____	Square Feet
3. Vehicular Use (driveway, paved access easement [portion used by the lot for access], parking)	_____	Square Feet
4. Covered Patios and Covered Decks	_____	Square Feet
5. Total New Lot Coverage Area (I1 + I2 + I3 + I4)	_____	
J. Total Project Lot Coverage Area = (E5 - F) + I5	_____	Square Feet
K. Proposed Lot Coverage Area = (J/B) x 100	_____	% of Lot

Lot coverage calculations shown on Plan Sheet # _____

HARDSCAPE

Up to 9% of the net lot area may consist of hardscape areas. For single family residential development, hardscape is the solid, hard, elements or structures that are incorporated into landscaping. The hardscape includes, but is not limited to, structures, paved areas, stairs, walkways, decks, patios, rockeries and retaining walls, and similar constructed elements that do not have a roof. The hardscape within the landscaping area consists of materials such as wood, stone, concrete, gravel, permeable pavements or pavers, and similar materials. Hardscape does not include solid, hard elements or structures that are covered by a minimum of two feet of soil intended for softscape (for example, a septic tank covered with at least two feet of soil and planted shrubs is not hardscape). The hardscape does not include driving surfaces or buildings.

In addition, unused lot coverage may also be improved with hardscape.

HARDSCAPE CALCULATIONS

A. Gross Lot Area	_____	Square Feet
B. Net Lot Area	_____	Square Feet
C. Area Borrowed from Lot Coverage	_____	Square Feet
D. Allowed Hardscape Area = 9% of lot area + C	_____	% of Lot
E. Allowed Hardscape Area	_____	Square Feet
F. Total Existing Hardscape Area:		
1. Uncovered Decks	_____	Square Feet
2. Uncovered Patios	_____	Square Feet
3. Walkways	_____	Square Feet
4. Stairs	_____	Square Feet
5. Rockeries and Retaining Walls	_____	Square Feet
6. Other _____	_____	Square Feet
7. Total Existing Hardscape Area (F1+F2+F3+F4+F5+F6)	_____	Square Feet
G. (Total Hardscape Area Removed)	_____	Square Feet
H. Total New Hardscape Area:		
1. Uncovered Decks	_____	Square Feet
2. Uncovered Patios	_____	Square Feet
3. Walkways	_____	Square Feet
4. Stairs	_____	Square Feet
5. Rockeries and Retaining Walls	_____	Square Feet

- 6. Other _____ Square Feet
- 7. Total New Hardscape Area
(H1+H2+H3+H4+H5+H6) _____ Square Feet
- I. Total Project Hardscape Area = (F7 - G) + H7 _____ Square Feet
- J. Total Project Hardscape Area = (I/B)x100 _____ % of Lot

Hardscape calculations shown on Plan Sheet # _____

GROSS FLOOR AREA (GFA)

For single family residential development, GFA is the total square footage of floor area, bounded by the exterior faces of the building(s). The GFA includes the floor area of the main building, accessory buildings, garages, attached roofed decks on the second or third story of a single family home, staircases, etc. The GFA does not include second- or third-story uncovered decks or uncovered rooftop decks.

The GFA includes the floor area of the main building, accessory buildings, garages, attached roofed decks on the second or third story of a single family home, staircases, etc. The GFA does not include second- or third-story uncovered decks or uncovered rooftop decks. GFA does not include any portion of a building that is below ground (refer to page 6).

Allowed GFA

- A. R-8.4: 5,000 square feet or 40% of the lot area, whichever is less.
- B. R-9.6: 8,000 square feet or 40% of the lot area, whichever is less.
- C. R-12: 10,000 square feet or 40% of the lot area, whichever is less.
- D. R-15: 12,000 square feet or 40% of the lot area, whichever is less.
- E. All zones: Lots with a lot area of 7,500 square feet or less, the lesser of 3,000 square feet or 45% of the lot area.
- F. All zones: If an accessory dwelling unit is proposed, the 40% allowed GFA may be increased by the lesser of 5 percentile points, or the floor area of the accessory dwelling unit. Provided, this allowance shall not result in a GFA of more than 4,500 square feet or 45% of the lot area, whichever is less.

GFA Modifiers

The GFA calculation for a floor with a ceiling height of 12 to 16 feet, is 150% of the area of the floor.

The GFA calculation for a floor with a ceiling height of more than 16 feet, is 200% of the area of the floor.

The GFA calculation for a stair case shall be counted as a single floor for the first two stories accessed by the stair case. For each additional story above two stories, the stair case shall count as a single floor area.

**Floor plans shall identify rooms with a ceiling height of more than 12 feet and rooms with a ceiling height of more than 16 feet.*

All building areas must be identified and labeled on the site plan. Please distinguish all new construction from existing areas on both your drawing and in the calculations you complete below.

Will you be excluding a portion of the basement floor area? Yes No

If yes, you must provide basement floor area calculations, with your building permit application, that show how you determined what portion of the basement will be excluded. Refer to page 6.

GROSS FLOOR AREA CALCULATIONS

Building Area	Existing Area	Removed Area	New/Addition Area	Total
Upper Floor	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.
Main Floor	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.
Gross Basement Area	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.
Garage/ Carport	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.
Total Floor Area	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.
Accessory Buildings	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.	_____ Sq. Ft.

Accessory Dwelling Unit 2 nd & 3 rd Story Roofed	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
Decks	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
Basement Area	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
Excluded	_____		_____		_____		_____	
150% GFA Modifier* (main and upper floor x2)	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
200% GFA Modifier* (main and upper floor x2)	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
Staircase GFA Modifier* (x2 for a three story staircase, x3 for a four story staircase)	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.
TOTAL Building Area	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.	_____	Sq. Ft.

*Enter the actual room area

- A. Lot Area _____ Square Feet
- B. Zone R-8.4 R-9.6 R-12 R-15
- C. Allowed Gross Floor Area (refer to "allowed GFA") _____ Square Feet
- D. Allowed Gross Floor Area _____ % of Lot
- E. Proposed Gross Floor Area _____ Square Feet
- F. Proposed Gross Floor Area _____ % of Lot

Gross floor area calculations found on Plan Sheet # _____

Basement exclusion calculations found on Plan Sheet # _____

BUILDING HEIGHT

All building height measurements must be taken from existing grade or finished grade, whichever is lower. Existing grade refers to ground surface as it exists at the proposed building perimeter before grading or other alterations take place. Finished grade refers to the ground surface as it exists at the building perimeter after grading or other alterations take place.

Single family new construction and additions are limited to a maximum height of 30 ft. above the Average Building Elevation (ABE) – see section on next pages. The height is measured to the top of the structure. On the downhill side of a sloping lot, the wall façade height is also limited to a height of 30 feet measured from existing or finished grade (whichever is lower) to the top of the exterior wall facade supporting the roof framing, rafters, trusses, etc.

A topographic survey is required at permit application when the proposed building height is within 2 ft. of the allowable building height. The survey must include a statement that attests the average contour elevation within the vicinity of the building footprint to be accurate within 6 inches vertically and horizontally from actual elevations.

BUILDING HEIGHT CALCULATIONS

- A. Average Building Elevation (ABE) calculations located on sheet #: _____
- B. Allowable Building Height (ABE + 30 ft.) _____ Feet
- C. Proposed Building Height _____ Feet
- D. Benchmark Elevation* _____ Feet
- E. Describe Benchmark Location (must be undisturbed throughout project) _____

- F. Sloping lot (Downhill side)- maximum height of top of exterior wall façade above lowest existing grade (30-ft max) _____ Feet
- G. ABE and Allowable Building Height Shown on elevations plan sheet # _____
- H. Topo-survey Accuracy Attested on Plan Sheet # _____

Note: survey must attest to accuracy when proposed building height is within 2 feet of the allowable building height. Please see page 8 for more information on calculating Average Building Elevation (ABE)

*The benchmark elevation is a fixed elevation point on or off site that will not be disturbed during development activity and is used to verify the final building height.

BASEMENT FLOOR AREA CALCULATION

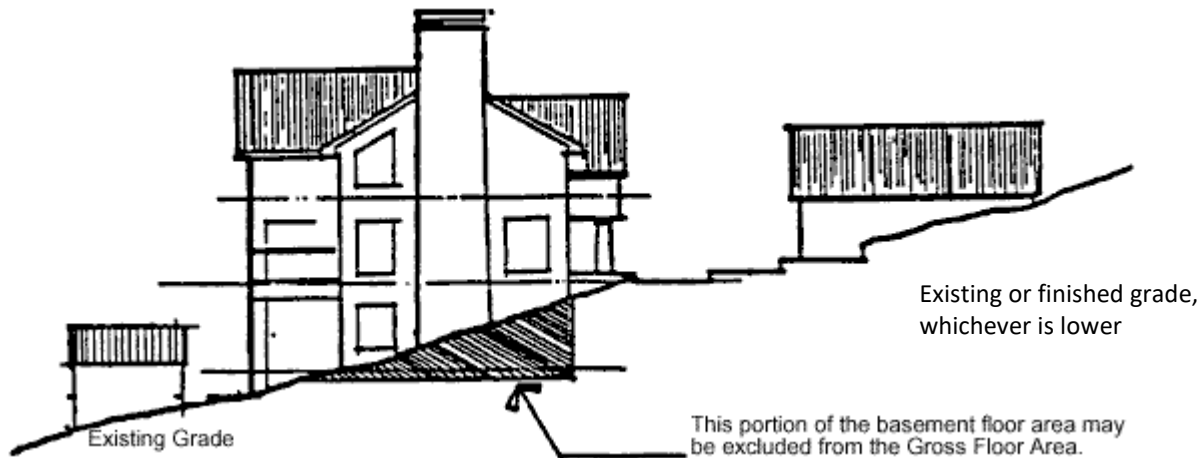
The Mercer Island Development Code allows for the portion of the basement floor area which is below grade to be excluded from the Gross Floor Area. That portion of the basement which will be excluded is calculated as shown:

Portion of Excluded Basement Floor Area = Total Basement Area x

$$\frac{\sum (\text{Wall Segment Coverage} \times \text{Wall Segment Length})}{\text{Total of all Wall Segment lengths}}$$

Where the terms are defined as follows:

- Total Basement Area:** The total amount of all basement floor area.
- Wall Segment** The portion of an exterior wall below existing or finished grade, whichever is lower. It is expressed as a percentage. Refer to example below.
- Coverage:**
- Wall Segment Length:** The horizontal length of each exterior wall in feet.



EXAMPLE OF BASEMENT FLOOR AREA CALCULATION

This example illustrates how a portion of the basement floor area may be excluded from the Gross Floor Area. In order to complete this example, the following information is needed:

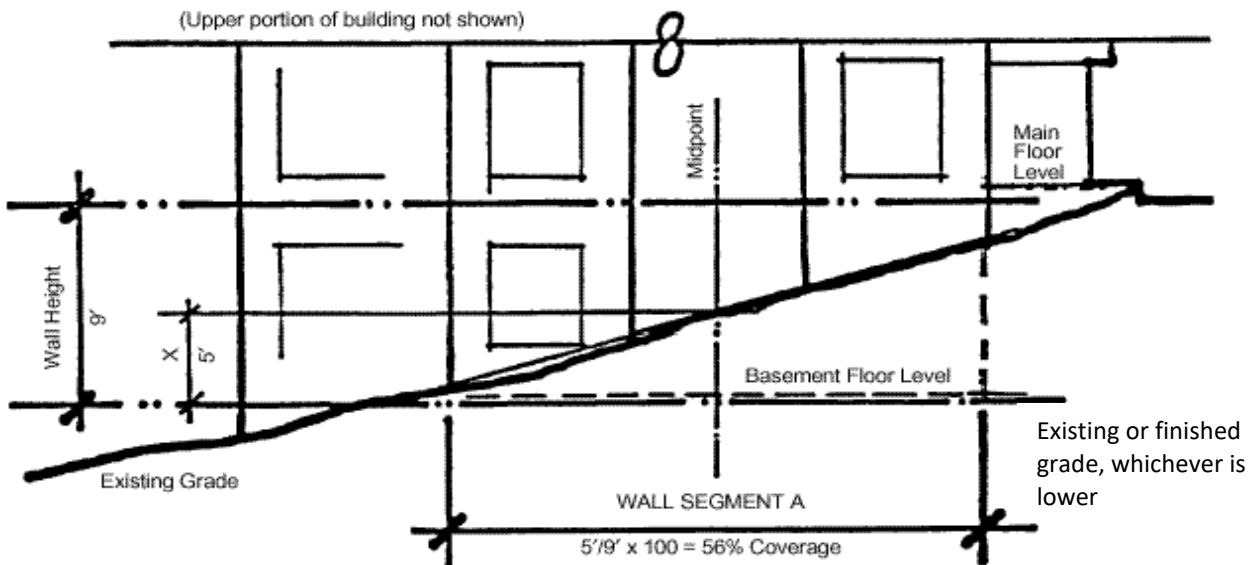
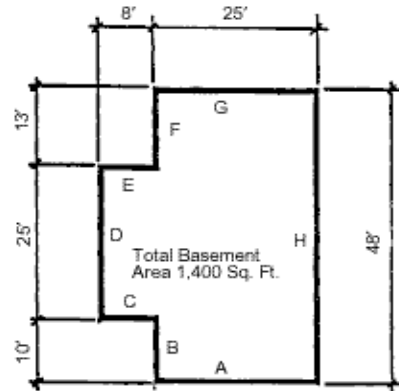
- a. A topographic map of the existing (e) grades and showing proposed finished (f) grades.
- b. Building plans showing dimensions of all exterior wall segments and floor areas.
- c. Building elevations showing the location of existing and finished grades in relation to basement level.

Step One

Determine the number and lengths of the Wall Segments.

Step Two

Determine the Wall Segment Coverage (in %) for each Wall Segment. In most cases this will be readily apparent, for example a downhill elevation which is entirely above existing and finished grade. In other cases, where the existing contours are complex, an averaging system shall be used. Refer to illustration.



Step Three

Multiply each Wall Segment Length by the percentage of each Wall Segment Coverage and add these results together. Divide that number by the sum of all Wall Segment Lengths. This calculation will result in a percentage of basement wall which is below grade. (This calculation is most easily completed by compiling a table of the information as illustrated below.)

Wall Segment	Length x	Coverage=	Result
A	25'	56%	14%
B	10'	0%	0%
B	8'	0%	0%
D	25'	0%	0%
E	8'	0%	0%
F	13'	0%	0%
G	25'	60%	15%
H	48'	100%	48%
Totals	162'	NA	77%

Step Four

Multiply the Total Basement Floor Area by the above percentage to determine the Excluded Basement Floor Area. Portion of Excluded Basement Floor Area Calculation below

$$1,400 \text{ Sq. Ft.} \times \frac{(25' \times 56\% + 10' \times 0\% + \dots + 25' \times 60\% + 48' \times 100\%)}{162'}$$

$$= 1,400 \text{ Sq. Ft.} \times 47.53\%$$

$$= 665.42 \text{ Sq. Ft. Excluded from the Gross Floor Area}$$

CALCULATING AVERAGE BUILDING ELEVATION (ABE)

No part of a structure may exceed 30 feet in height above the "Average Building Elevation" to the top of the structure, except that on the downhill side of a sloping lot the structure shall not extend to a height greater than 30 feet measured from existing or finished grade to the top plate of the roof; provided the roof ridge does not exceed 30 feet in height above the "Average Building Elevation." ABE is defined as: The elevation established by averaging the elevation at existing or finished grade, whichever is lower, at the center of all exterior walls of the completed building.

NOTE:
INCOMPLETE
AVERAGE BUILDING
ELEVATION
INFORMATION
COULD
SUBSTANTIALLY
DELAY THE
PROCESSING OF
YOUR APPLICATION

AVERAGE BUILDING ELEVATION FORMULA:

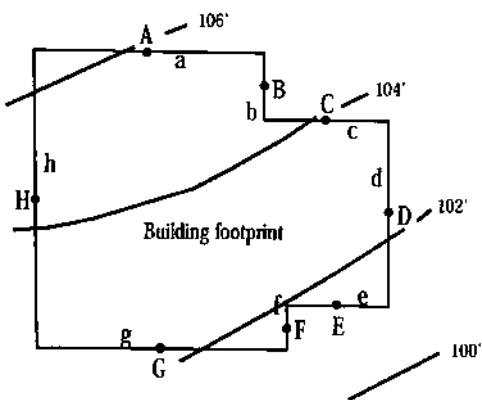
$$\frac{(\text{Mid-point Elevation of Individual Wall Segment}) \times (\text{Length of Individual Wall Segment})}{(\text{Total Length of Wall Segments})}$$

$$\text{—OR—}$$

$$\frac{(Axa)+(Bxb)+(Cxc)+(Dxd)+(Exe)+(Dxd)+(Exe)+(Fxf)+(Gxg)+(Hxh)}{a + b + c + d + e + f + g + h}$$

WHERE: A,B,C,D... = Lower of Finished or Existing Ground Elevation at Midpoint of Wall Segment

AND: a,b,c,d... = Length of Wall Segment Measured on Outside Wall



MIDPOINT ELEVATION	WALL SEGMENT LENGTH
A = 105.9 feet	a = 30 feet
B = 104.7 feet	b = 9 feet
C = 103.7 feet	c = 17 feet
D = 102.7 feet	d = 25 feet
E = 101.6 feet	e = 13 feet
F = 101.7 feet	f = 6 feet
G = 102.2 feet	g = 34 feet
H = 104.5 feet	h = 40 feet

ABE CALCULATION:

$$\frac{(105.9)(30)+(104.7)(9)+(103.7)(17)+(102.2)(25)+(101.6)(13)+(101.7)(6)+(102.2)(34)+(104.5)(40)}{30 + 9 + 17 + 25 + 13 + 6 + 34 + 40}$$

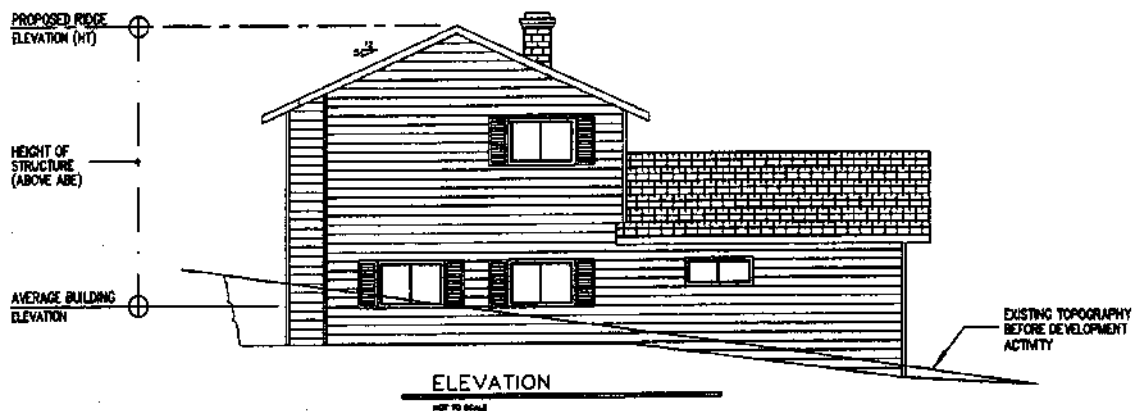
$$\frac{18023'}{174'} = 103.6' \text{ Average Building Elevation (ABE)}$$

NOTE: This example is not to scale. Site plans submitted to the building department must be to scale.

BEFORE SUBMITTING YOUR CONSTRUCTION DRAWINGS, CHECK TO SEE THAT YOU HAVE PROVIDED THE INFORMATION BELOW.

- The site plan and the elevation drawings must be drawn to scale, for example 1" = 20', and based on a survey.
- Clearly show existing topography on your site plan. Topography should be shown in 2' increments.
- Submit (with the site plan) your average building elevation calculations using the formula provided on page 8.
- Indicate on an elevation drawing where the average building elevation strikes the building and the proposed ridge elevation (see below for example).
- Elevation drawings for all sides of the building.
- Indicate on the site plan the elevation of the finished floor or garage slab.
- Indicate the elevation and location of a fixed point (benchmark) within the ADJACENT RIGHT-OF-WAY or other point approved by the Building Official. The benchmark elevation and location must be provided and cannot be a part of the proposed structure. Note: Benchmark must be established, verified by a licensed surveyor and remain during construction so height can be verified when completed.
- For additions, you must provide an average building elevation calculation for the entire structure.
- If a portion of the basement floor area will be excluded from the gross floor area, provide the exclusion calculations with your site plan. The formula for basement area exclusions is shown on page 6.
- Indicate ceiling heights greater than 12' and greater than 16' on floor plans.

CROSS-SECTION REPRESENTATION OF ABE





ARBOR INFO LLC

2406 N Castle Way Brier, WA, 98036

**Tree Assessment
For
Russell Palanchuk
At
9734 40th St.
Mercer Island, Washington**



Date

2/12/2025(rev 9/24/2025)

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Addenda

- I. Tree Plan
- II. Tree Assessment Summary Table
- III. Root Zone Impacts
- IV. Mercer Island Check list
- V. Mercer Island Tree Inventory Form
- VI. Signage Requirements

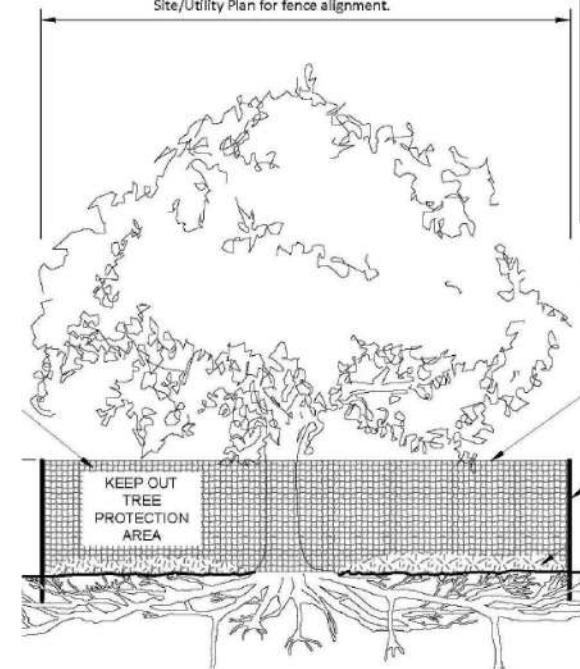
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
4. Any work in approved TP2 must be with the permission of the City Arborist (206) 275-7713, john.kenney@mercergov.org.
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.



Tree protection fence: 6' chain link fence, solidly anchored into the ground, or if authorized High-density polyethylene fencing with 3.5" x 1.5" openings; color orange. Steel posts installed at 8' o.c.

2' x 6" steel posts or approved equal

Maintain existing grade with the tree protection fence unless otherwise indication on the plans

Any Work in the protected area must be with the permission of the City Arborist john.kenney@mercergov.org

Tree Assessment		Site: Palanchuk, 9734 40th St., Mercer Island, WA		Tax ID: 502190-0899		Date: 2/11/2025		Assessor: Tom Hanson PN0426A		Project: 2025-19									
Tag #	Tree #	Common	Species	DBH (inches)	Height (feet)	Crown Ratio (%)	Dripheight (feet)	Protection Zone-Outer Radius (feet)	Inner Zone-Radius (feet)	Vigor	Structure	Viability	Class	Grave	Comments				
1	1*	Big leaf maple	Acer macrophyllum	28.2	85	60	12	26	12	18	28	14	Fair	Fair	Regulated	No	Bolt decay to 14", dead wood, OK in NGPA.		
2	2	Big leaf maple	Acer macrophyllum	17.8	90	60	14	20	0	18	18	9	Fair	Fair	Regulated	No	OK in NGPA.		
3	3	Big leaf maple	Acer macrophyllum	26.0	90	50	25	12	12	20	10	10	Fair	Poor	Regulated	No	Bolt decay to 14", OK in NGPA.		
4	4	Big leaf maple	Acer macrophyllum	16.9	75	50	12	14	14	11	5	5	Good	Fair	Regulated	No	OK in NGPA.		
5	5	Big leaf maple	Acer macrophyllum	14.7	80	50	10	24	12	15	7	7	Good	Poor	Regulated	No	Bolt decay to 14", OK in NGPA.		
6	6	Big leaf maple	Acer macrophyllum	8.3	40	0	0	0	0	8	4	0	0	0	0	0	Not Regulated	No	Dead, OK in NGPA.
7	7	Big leaf maple	Acer macrophyllum	11.1	40	20	0	14	14	11	6	6	Good	Fair	Regulated	No	Cracked		
8	8	Alder	Alnus rubra	7.8	80	50	22	0	16	0	8	4	0	0	0	0	Not Regulated	No	
9	9	Laurel	Prunus laurocerasus	7.5	25	80	18	0	6	6	8	4	Good	Poor	Regulated	No			
10	10*	Laurel	Prunus laurocerasus	8.4	30	90	8	12	6	12	8	4	Good	Good	Regulated	No			
11	11	Laurel	Prunus laurocerasus	6.5	25	80	8	7	5	7	7	3	Good	Good	Regulated	No			
12	12	Hawthorne	Crataegus monogyna	15.1	50	80	16	14	14	14	15	8	Good	Good	Regulated	No			
13	13	Hawthorne	Crataegus monogyna	6.9	30	80	0	14	8	8	6	3	Good	Good	Regulated	No			
14	14	Purple leaf plum	Prunus coccinea	8.6	16	80	6	13	10	10	9	4	Good	Good	Regulated	No			
15	15	Hawthorne	Crataegus monogyna	6.1	25	90	6	10	8	8	6	3	Good	Good	Regulated	No			
16	16	Norway spruce	Picea abies	12	50	90	7	7	7	12	6	6	Good	Good	Regulated	No			
17	17	Birch	Betula papyrifera	22.1	60	70	12	16	16	16	22	11	Good	Fair	Regulated	No	Topped at 30' and recovered from Brown Birch Blight.		
18	18	Apple	Malus sp.	9.8	16	60	10	10	10	10	5	5	Good	Good	Regulated	No			
19	19	Birch	Betula papyrifera	22.4	60	70	19	19	19	22	11	11	Good	Fair	Regulated	No	Topped at 30' and recovered from Brown Birch Blight.		
Off Site																			
A		Big leaf maple	Acer macrophyllum	23.2	85	70	18	30	16	12	23	12	Good	Fair	Regulated	No	Two codominants splitting, OK in NGPA.		
B		Red alder	Alnus rubra	19.2	90	60	18	18	14	16	19	10	Good	Good	Regulated	No			
C		Red alder	Alnus rubra	16.1	70	40	18	16	16	16	16	8	Fair	Fair	Regulated	No			
D*		Laurel	Prunus laurocerasus	8.6	30	80	8	12	10	10	9	4	Good	Good	Regulated	No			
E		Asiatic pine	Pinus nigra	25.7	70	80	10	20	16	24	26	13	Good	Fair	Regulated	No	Two codominants at 17'		
F		Asiatic pine	Pinus nigra	22.1	70	80	18	10	16	24	22	11	Good	Fair	Regulated	No	Two codominants at 17'		
G		Big leaf maple	Acer macrophyllum	12.5	45	60	8	16	6	13	6	6	Good	Good	Regulated	No			
H		Mountain Hemlock	Tsuga mertensiana	6.0	18	100	4	4	4	4	6	3	Good	Good	Regulated	No			

CONTACTS
 ARCHITECT/DESIGNER: ALDOR LLC
 26809 199TH AVE SE
 COVINGTON WA, 98042
 CONTACT: DORIN CORNITEL / DESIGNER
 (206)-747-8421
 ALDOR.ARCHITECTURE.CONSTRUCTION@OUTLOOK.COM

JURISDICTION
 CITY OF MERCER ISLAND - RESIDENTIAL BUILD PERMITS
 9611 SE 36TH STREET
 MERCER ISLAND, WA 98040
 (206)-275-7605

GENERAL NOTES
 1. CALL LOCAL UTILITIES BEFORE YOU DIG
 2. CONTRACTOR IS RESPONSIBLE FOR POSTING ALL PERMITS ON SITE.

SITE/BUILDING DATA

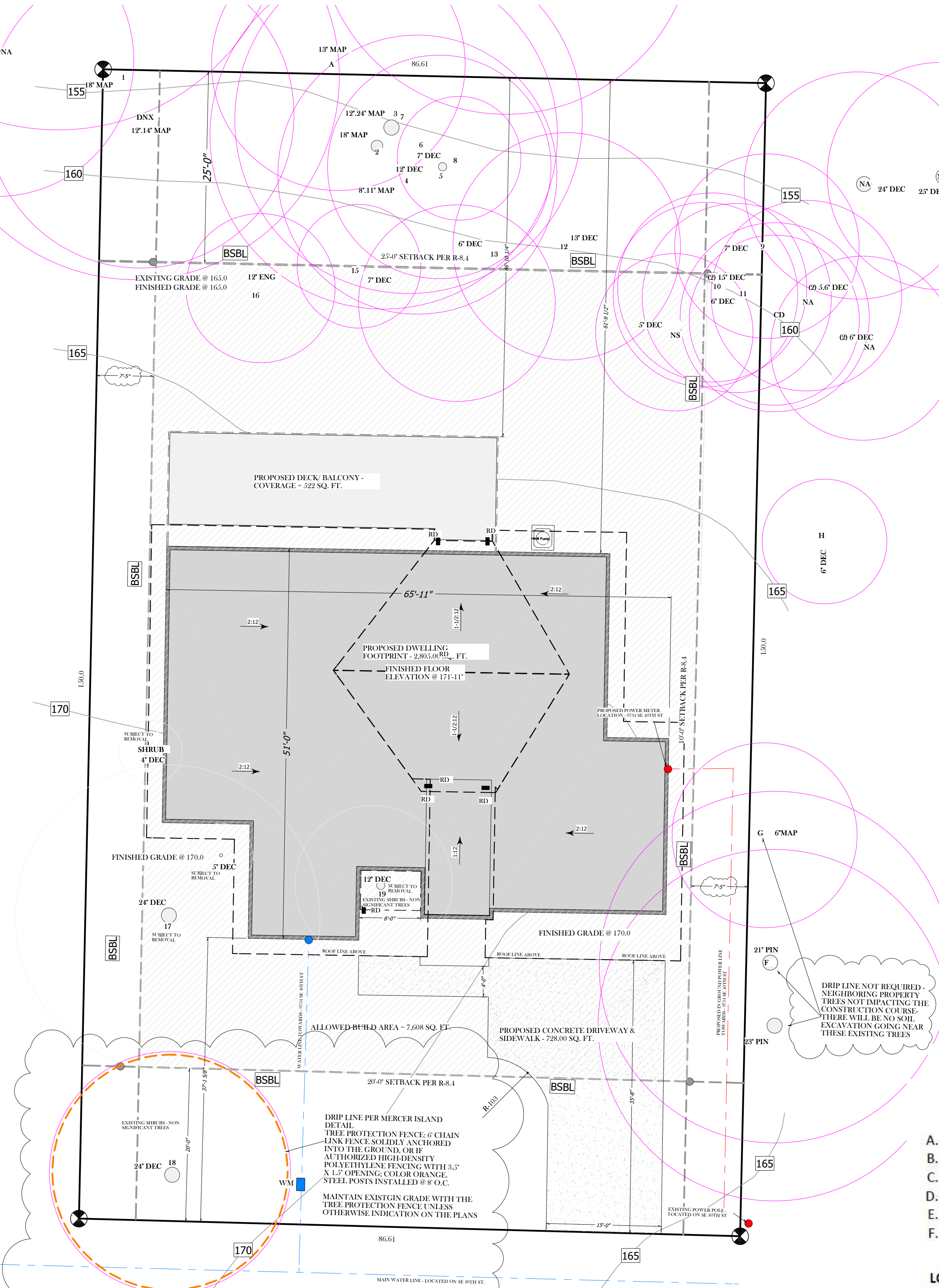
OWNER: RUSSELL PALANCHUCK
 9734 SE 40TH ST 98040
 PARCEL: 265550-0176
 PROPERTY ZONING: R-8.4

LOT SIZE: 12,992 SQ. FT. OR 0.30 ACRES
 PLAT LOT 18
 SEWER/SEPTIC: PUBLIC
 WATER: PUBLIC
 SETBACKS: FRONT: 20'
 SIDES: 5' MIN. ON ONE SIDE, WITH THE TWO SIDES TOTALING 15'
 REAR: 25'

BUILDING SQ. FT.	
* MAIN FLOOR	2,179 SQ. FT.
* UPPER LOOR	2,264 SQ. FT.
* GARAGE	556 SQ. FT.



VICINITY MAP



SE 40TH ST
 TAX LOT #265550-0176
 LOT1 - 12,992 SQ. FT.

PROPOSED SITE PLAN
 SCALE 1" = 10'



NOTE: NO TREES TO BE REMOVED



A.	Lot Area		Square Feet
B. <td>Zone R-8.4</td> <td>R-9.6</td> <td>R-12 R-15</td>	Zone R-8.4	R-9.6	R-12 R-15
C. <td>Allowed Gross Floor Area (refer to "allowed GFA")</td> <td></td> <td>5,000 Square Feet</td>	Allowed Gross Floor Area (refer to "allowed GFA")		5,000 Square Feet
D. <td>Allowed Gross Floor Area</td> <td></td> <td>40 % of Lot</td>	Allowed Gross Floor Area		40 % of Lot
E. <td>Proposed Gross Floor Area</td> <td></td> <td>4,999 Square Feet</td>	Proposed Gross Floor Area		4,999 Square Feet
F. <td>Proposed Gross Floor Area</td> <td></td> <td>38.5% % of Lot</td>	Proposed Gross Floor Area		38.5% % of Lot

LOT SLOPE CALCULATIONS	
Highest Elevation Point of Lot:	170 Feet
Lowest Elevation Point of Lot:	152 Feet
Elevation Difference:	18 Feet
Horizontal Distance Between High and Low Points:	148 Feet
Lot Slope*	12.1 %

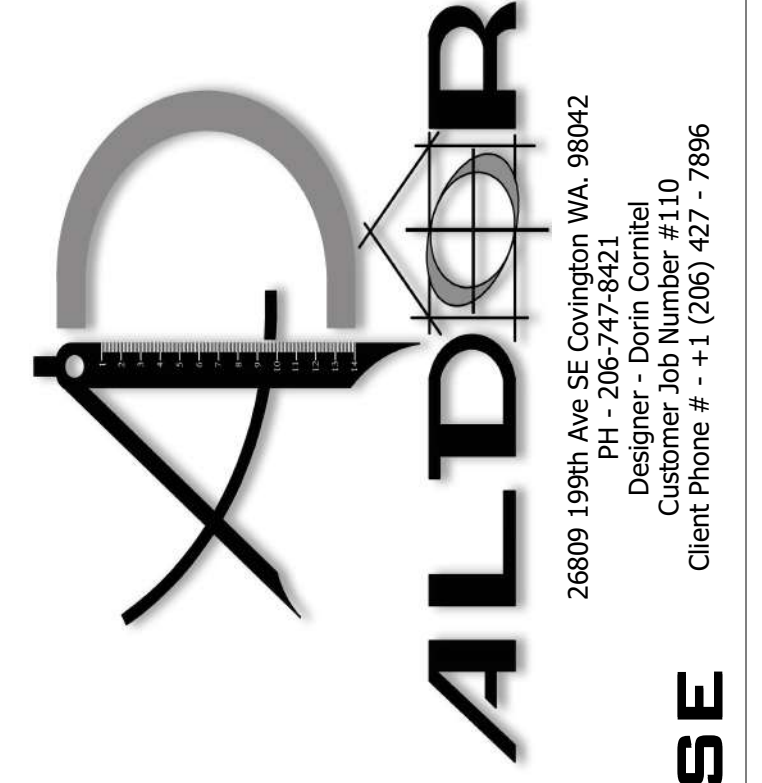
LOT COVERAGE CALCULATIONS	
A. Gross Lot Area	12,992 Square Feet
B. Net Lot Area	7,518 Square Feet
C. Allowed Lot Coverage Area	5,000 sq. ft. Square Feet
D. Allowed Lot Coverage	40% % of Lot

GFA CALCULATIONS

BUILDING AREA	
MAIN FLOOR AREA	2,200 SQ. FT.
UPPER FLOOR AREA	2,264 SQ. FT.
ATTACHED 2 CAR GARAGE AREA	535 SQ. FT.
TOTAL GFA	4,999 SQ. FT.

LEGEND

- NORTH ARROW
- BSBL BOUNDARIES
- LOT BOUNDARIES
- ROOF DRAINAGE LINE
- PROPOSED DOWNSPOUTS
- BUILDING ENVELOPE
- EXISTING TREES
- WATER MAIN LINE
- GAS LINE
- POWER MAIN LINE
- BSBL - BUILDING SET BACK LINE
- PROPERTY LINE
- TOPOGRAPHICAL CONTOUR LINES
- WATER METER BOX
- PROPOSED DECK STRUCTURE
- PROPOSED SFR - DWELLING
- PROPOSED CONCRETE DRIVEWAY/ SIDEWALK
- BUILD-ABLE AREA



THESE PLANS HAVE BEEN PREPARED BY ALDOR LLC AND RELEASED BY ALDOR LLC AND ARE TO BE USED ONLY BY THE CLIENT FOR THE PROJECT LOCATED AT 9734 SE 40TH ST, MERCEER ISLAND, WA 98040. THIS PLAN SET MAY NOT BE ALTERED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN PERMISSION OF ALDOR LLC. VIOLATION IS STRICTLY ENFORCED.

THESE PLANS WERE EXCLUSIVELY DESIGNED FOR
RUSSELL PALANCHUCK
 9734 SE 40TH ST
 MERCER ISLAND, WA 98040
 PARCEL # - 265550-0176

HOME OWNER / GENERAL CONTRACTORS SHALL VERIFY ALL LOCAL AND STATE REQUIREMENTS, BUILDING CODES, AND GRADING REQUIREMENTS. DESIGNER RESERVES THE RIGHT TO MODIFY THESE PLANS IF NECESSARY. SUBCONTRACTORS SHALL COORDINATE CLOSELY WITH HOMEOWNER PRIOR TO PROCEEDING WITH THE LAYOUT OF THEIR RESPECTIVE CONTRACTS. ARCHITECT SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN SUBCONTRACTORS AND HOMEOWNER. THESE PLANS ARE DIAGRAMMATIC IN NATURE AND ARE INTENDED TO IDENTIFY THE MOST SIGNIFICANT ELEMENTS OF THE PROJECT. CONTRACTORS SHALL PROVIDE ALL INFORMATION TO THE ENGINEER TO PROVIDE NECESSARY REGULATORY AGENCY COMPLIANCE WITH LOCAL AND INTERNATIONAL REGULATIONS. THAT NON-REGULATORY ITEMS WHICH ARE NOT REQUIRED FOR APPROVAL FOR CONSTRUCTION MAY NOT APPEAR WITHIN THESE PLANS.

Sheet Description
SITE PLAN
Plan Name
9734 SE 40TH ST 98040

THIS SET OF PLANS IS LICENSED FOR ONE TIME USE

1. Introduction

I was contacted by Russell Palanchuk at Ebenezer Investments to describe and assess the condition and viability of trees on and adjacent to 9734 40th St., Mercer Island, WA. This report summarizes my observations and conclusions in conformance with Mercer Island Code 19.10.10.

2. Competence

- Certified Arborist (International Society of Arboriculture, ISA #23136, PN 0426 A)
- Registered Consulting Arborist (American Society of Consulting Arborists #499).
- Tree Risk Assessment Qualified (ISA).
- Certified forester (Society of American Foresters #951)
- Bachelor of Science degree in Forest Management from the University of Washington
- Licensed Washington State Real Estate Managing Broker #11534

3. Client

The client to whom this report is addressed is:

Russell Palanchuk
Ebenezer Investments, LLC
6943 Coal Creek Parkway
New Castle, WA 98059

Copy to:
Dorin Cornitel
ALDOR Architecture+Construction
21540 SE Wax Rd
Maple Valley, WA 98038

4. Assignment, Purpose and Use of Report

The assignment is to describe and assess the condition and viability of on-site and off-site trees adjacent to the subject parcel. Protection recommendations in conformance with the City of Mercer Island “Tree Submittal Check List” are included.

5. Limits of Assignment

The assignment is limited to the information gathered during the site visit February 11, 2025 (date of assessment) and references noted in this report. No excavation or sampling was undertaken to determine unseen defects. No inspection of trees not reported herein was made.

A site plan indicating the current condition of the property was provided and is included in the Addenda with tree locations noted.

6. Site Description

9734 40th St. St. Mercer Island, WA
King County Parcel No. 2655500176, 12,992 square feet; 0.298 acres
The subject property is a rectangle on two levels and includes a single-family residence on the southerly or upper level. The north portion is an unkempt forest area.

The existing house is planned for demolition and a new residence is to be constructed essentially on that footprint.

7. Methodology

Each tree was measured for diameter at 4.5-feet above ground, (or equivalent) total height, percentage of live green crown, and dripline (extent of live limbs).

Each tree was assessed as to its vitality, structure, vigor and viability:

Vigor or condition:

Vitality: Biotic

- Good: No evidence of fungal infection or decay;) Tree has sufficient photosynthetic capacity to reach expected normal life expectancy. (40-100 years) in this case
- Fair: Tree has initial fungal decay or evidence of insect habitat and is less likely to survive to normal life expectancy. Some with minor defects are rated viable because they have sufficient photosynthetic capacity to reach expected normal life expectancy,
- Poor: Tree has significant fungal decay and defects that render it not likely to survive three years.

Structural: Abiotic

- Good: no significant abiotic or mechanical defects
- Fair: less than preferred form, defects such as breaks in the bole, poor limb attachments, included bark, poor root contact, etc. May be rated non-viable.
- Poor: Broken or cracked bole or limbs; root plate compromised; generally rated non-viable.
-

Viability:

- A measure of whether the tree is likely to live to its “normal” life span or has defects limiting that potential or poses a risk to the residence or proposed development is a simple ‘yes/no’ rating.

8. Tree Description

Refer to the attached Tree Assessment Summary Form. There are a total of sixty-one on-site trees and nine off-site. A summary of the trees follows.

Table 1- Tree Category Summary – On site

<u>Category</u>	<u>Number</u>
Total	19
Total viable	18*
36”+	0
24”+	1
Exceptional	1
Large Regulated	10
Large Regulated to be Removed	0
Percentage Retention (Large Regulated)	100%

Table 2- Tree Category Summary – Off site – Private

<u>Category</u>	<u>Number</u>
Total	8
24”+	1
Exceptional	0
Large Regulated	6
Large Regulated to be Removed	0
Percentage Retention	100%

9. Tree Retention and Removals

Refer to Addendum II and Mercer Island City Code 19.10.060.

Two Large Regulated Exceptional Trees, No.s’ 17 and 19 , both 22-inches in diameter will be removed. (Paper birch are exceptional when over 20-inches diameter.) However, the code chapter specifically states that only exceptional trees over 24-inches in diameter must be retained.

There will be no excavation or fill within the root zones of any other retained trees. (Per client)

10. Replacement Trees

Four Replacement trees are required. See Attached Mercer Island Tree Inventory and Replacement Form. A tree replacement plan will be provided by the project landscape architect.

11. Tree Protection

Trees to be retained must be protected per MIC 19.10.080.b. The following guidelines should be employed to protect all retained trees on and off site at this project location.

- Place no construction material or equipment within the protected area of any tree to be retained
- Tree protection fencing consisting of chain link at least 4-feet in height. at the dripline
- “Tree Protection Area- Entrance Prohibited” at 15-foot intervals on the fence
- Prohibiting excavation or compaction of earth or other damaging activities within the barriers unless approved by the Planning Official and supervised by a qualified professional
- Approved landscaping in a protected zone shall be done by light machinery or by hand
- Any exposed roots should be cut cleanly and backfilled with soil as soon as possible
- Root zones should be protected by a 4-inch-deep layer of clean organic material (tree chips, etc.)

Detailed Tree Protection Signage requirements per Mercer Island Requirements are attached in Addendum VI.

11. Summary

No retained trees on or off site will be affected by the site development proposal.

12. Assumptions and Limiting Conditions

1. Any legal description provided to the consultant is assumed to be correct. Ownership of the subject trees as provided by the client is assumed to be correct. No responsibility is assumed for legal matters. No opinion as to the property line location is made.

2. Care has been taken to obtain all information from reliable sources. The consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
3. The consultant shall not be required to give testimony or attend court by reason of this report unless subsequent contractual arrangements are made, including additional fees.
4. This report and any values expressed herein represent the opinion of the consultant, and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
5. The exhibits in this report are included to assist the reader and are not necessarily to scale.
6. Unless expressed otherwise, the information in this report covers only items that were examined and reflects the condition of those items at the time of inspection. The subject site was cleared of all vegetation at the time of inspection therefore the extent of removals is inferred from adjacent undisturbed areas. The inspection is limited to visual examination of accessible portions of the trees and plants.
7. Loss or alteration of any part of the report invalidates the entire report. Ownership of any documents related to this report passes to the client only.
8. The liability of ArborInfo LLC its contractors and employees is limited to the client only and only up to the amount of the fee actually received for the assignment.
9. *There is no warranty suggested for any of the trees subject to this report. Weather, latent tree conditions, and future man-caused activities could cause physiologic changes and deteriorating tree condition. Over time, deteriorating tree conditions may appear and there may be conditions, which are not now visible which, could cause tree failure. This report or the verbal comments made at the site in no way warrant the structural stability or long-term condition of any tree, but represent my opinion based on the observations made.*
10. *NEARLY ALL TREES IN ANY CONDITION STANDING WITHIN REACH OF IMPROVEMENTS OR HUMAN USE AREAS REPRESENT HAZARDS THAT COULD LEAD TO DAMAGE OR INJURY. THE ASSESSMENT IS VALID FOR TWO YEARS FROM THE DATE OF INSPECTION, ONLY.*
11. PERTINENT JURISDICTION RULES AND REGULATIONS SHOULD BE CONSULTED PRIOR TO THE REMOVAL OR ALTERATION OF ANY TREE.

Respectfully Submitted,



Thomas M. Hanson, CA, RCA

Addenda

- I. Tree Plan
- II. Tree Assessment Summary Table
- III. Root Zone Impacts
- IV. Mercer Island Check list
- V. Mercer Island Tree Inventory Form
- VI. Signage Requirements

Tree Assessment																			
Site: Palanchuk, 9734 40th St, Mercer Island, WA				Tax ID: 502190-0890				Date: 2/11/2025(rev. 9/24/2025)				Assessor: Tom Hanson PN0426A				Project: 2025-19			
Tag #	Tree #	Species		DBH	Height	Crown Ratio	Dripline(ft)				Protection Zone-Outer Radius	Inner Zone-Radius	Vigor			Class	Grove	Disposition	Comments
		Common	Scientific	(inches)	(feet)	(%)	N	S	E	W	(feet)	(feet)	Vigor	Structure	Viability				
On Site																			
1	1*	Big leaf maple	<i>Acer macrophyllum</i>	28.2	85	60	12	26	12	18	28	14	Fair	Fair	Viable	Regulated	No	Retain	Bole decay to 14', dead wood, OK in NGPA
2	2	Big leaf maple	<i>Acer macrophyllum</i>	17.8	90	40	14	20	0	18	18	9	Fair	Fair	Viable	Regulated	No	Retain	OK in NGPA
3	3	Big leaf maple	<i>Acer macrophyllum</i>	20.0	90	50	25	12	12	12	20	10	Fair	Poor	Viable	Regulated	No	Retain	Bole decay to 14', OK in NGPA
4	4	Big leaf maple	<i>Acer macrophyllum</i>	10.9	75	50	12	14	14	0	11	5	Good	Fair	Viable	Regulated	No	Retain	OK in NGPA
5	5	Big leaf maple	<i>Acer macrophyllum</i>	14.7	80	50	10	24	12	12	15	7	Good	Poor	Viable	Regulated	No	Retain	Bole decay to 14', OK in NGPA
6	6	Big leaf maple	<i>Acer macrophyllum</i>	8.1	40	0	0	0	0	0	8	4	0	0	0	Not Regulated	No	Retain	Dead, OK in NGPA
7	7	Big leaf maple	<i>Acer macrophyllum</i>	11.1	40	20	0	14	14	14	11	6	Good	Fair	Viable	Regulated	No	Retain	Crooked
8	8	Alder	<i>Alnus rubra</i>	7.8	80	50	22	0	16	0	8	4	Good	Fair	Viable	Not Regulated	No	Retain	
9	9	Laurel	<i>Prunus laurocerasus</i>	7.5	25	80	18	0	6	6	8	4	Good	Poor	Viable	Not Regulated	No	Retain	
10	10*	Laurel	<i>Prunus laurocerasus</i>	8.4	30	90	8	12	6	12	8	4	Good	Good	Viable	Not Regulated	No	Retain	
11	11	Laurel	<i>Prunus laurocerasus</i>	6.5	25	80	8	7	5	7	7	3	Good	Good	Viable	Not Regulated	No	Retain	
12	12	Hawthorne	<i>Crataegus monogyna</i>	15.1	50	80	16	14	14	14	15	8	Good	Good	Viable	Regulated	No	Retain	
13	13	Hawthorne	<i>Crataegus monogyna</i>	6.0	30	80	0	14	8	8	6	3	Good	Good	Viable	Not Regulated	No	Retain	
14	14	Purple leaf plum	<i>Prunus cerasifera</i>	8.6	16	80	6	13	10	10	9	4	Good	Good	Viable	Not Regulated	No	Retain	
15	15	Hawthorne	<i>Crataegus monogyna</i>	6.1	25	90	6	10	8	8	6	3	Good	Good	Viable	Regulated	No	Retain	
16	16	Norway spruce	<i>Picea abies</i>	12	50	90	7	7	7	7	12	6	Good	Good	Viable	Regulated	No	Retain	
17	17	Birch	<i>Betula papyrifera</i>	22.1	60	70	12	16	16	16	22	11	Good	Fair	Viable	Regulated	No	Remove	Topped at 30' and recovered from Bronze Birch Borer
18	18	Apple	<i>Malus sp.</i>	9.8	16	60	10	10	10	10	10	5	Good	Good	Viable	Not Regulated	No	Retain	
19	19	Birch	<i>Betula papyrifera</i>	22.4	60	70	19	19	19	19	22	11	Good	Fair	Viable	Exceptional	No	Remove	Topped at 30' and recovered from Bronze Birch Borer
Off Site																			
A		Big leaf maple	<i>Acer macrophyllum</i>	23.2	85	70	18	30	16	12	23	12	Good	Fair	Viable	Regulated	No	Retain	Two codominants splitting, OK in NGPA
B		Red alder	<i>Alnus rubra</i>	19.2	90	60	18	18	14	16	19	10	Good	Good	Viable	Regulated	No	Retain	
C		Red alder	<i>Alnus rubra</i>	16.1	70	40	18	16	16	16	16	8	Fair	Fair	Viable	Regulated	No	Retain	
D*		Laurel	<i>Prunus laurocerasus</i>	8.6	30	80	8	12	10	10	9	4	Good	Good	Viable	Not Regulated	No	Retain	
E		Austrian pine	<i>Pinus nigra</i>	25.7	70	80	10	20	16	24	26	13	Good	Fair	Viable	Regulated	No	Retain	Two codominants at 15'
F		Austrian pine	<i>Pinus nigra</i>	22.1	70	80	18	10	16	24	22	11	Good	Fair	Viable	Regulated	No	Retain	Two codominants at 15'
G		Big leaf maple	<i>Acer macrophyllum</i>	12.5	45	60	8	8	16	6	13	6	Good	Good	Viable	Regulated	No	Retain	
H		Mountain Hemlock	<i>Tsuga mertensiana</i>	6.0	18	100	4	4	4	4	6	3	Good	Good	Viable	Not Regulated	No	Retain	
																	Retain		

*DBH = square root [(dbh stem1)^2+(dbh stem2)^2+(dbh stem3)^2]

Root Zone Impacts													
Site:, Palanchuck; 9734 40th St.,MI WA											Date: 9/24/2025 P2025-104		
Tree #	Species	DBH (in)	Disposition		Protection Zone (radius)		Distance tree face to:		Root Zone Area (sq ft)	Impacted Root Zone Area (sq ft)	Impacted Zone (%)*	Purpose	Impact
			Retain	Remove	Outer (ft)	Inner (ft)	Excavation** (ft)	Fill** (ft)					
On Site													
1*	Big leaf maple	28.2	yes		28	14	N/A	N/A	2497	None	None	N/A	None
2	Big leaf maple	17.8	yes		18	9	N/A	N/A	995	None	None	N/A	None
3	Big leaf maple	20.0	yes		20	10	N/A	N/A	1256	None	None	N/A	None
4	Big leaf maple	10.9	yes		11	5	N/A	N/A	373	None	None	N/A	None
5	Big leaf maple	14.7	yes		15	7	N/A	N/A	679	None	None	N/A	None
6	Big leaf maple	8.1	yes		8	4	N/A	N/A	206	None	None	N/A	None
7	Big leaf maple	11.1	yes		11	6	N/A	N/A	387	None	None	N/A	None
8	Alder	7.8	yes		8	4	N/A	N/A	191	None	None	N/A	None
9	Laurel	7.5	yes		8	4	N/A	N/A	177	None	None	N/A	None
10*	Laurel	8.4	yes		8	4	N/A	N/A	222	None	None	N/A	None
11	Laurel	6.5	yes		7	3	N/A	N/A	133	None	None	N/A	None
12	Hawthorne	15.1	yes		15	8	N/A	N/A	716	None	None	N/A	None
13	Hawthorne	6.0	yes		6	3	N/A	N/A	113	None	None	N/A	None
14	Purple leaf plum	8.6	yes		9	4	N/A	N/A	232	None	None	N/A	None
15	Hawthorne	6.1	yes		6	3	N/A	N/A	117	None	None	N/A	None
16	Norway spruce	12	yes		12	6	N/A	N/A	452	None	None	N/A	None
17	Birch	22.1		Yes	22	11	Excavation**	Fill**	1534	N/A	N/A	Impacting Constructio n	Remove
18	Apple	9.8	yes		10	5	N/A	N/A	302	None	None	N/A	None
19	Birch	22.4		Yes	22	11	Excavation**	Fill**	1576	N/A	N/A	Impacting Constructio n	Remove
0													
Off site													
A	Big leaf maple	23.2	Yes		23.2	11.6	N/A	N/A	1690	N/A	N/A	N/A	None
B	Red alder	19.2	Yes		19.2	9.6	N/A	N/A	1158	N/A	N/A	N/A	None
C	Red alder	16.1	Yes		16.1	8.05	N/A	N/A	814	N/A	N/A	N/A	None
D*	Laurel	8.6	Yes		8.6	4.3	N/A	N/A	232	N/A	N/A	N/A	None
E	Austrian pine	25.7	Yes		25.7	12.85	N/A	N/A	2074	N/A	N/A	N/A	None
F	Austrian pine	22.1	Yes		22.1	11.05	N/A	N/A	1534	N/A	N/A	N/A	None
G	Big leaf maple	12.5	Yes		12.5	6.25	N/A	N/A	491	N/A	N/A	N/A	None
H	Mountain Hemlock	6.0	Yes		6	3	N/A	N/A	113	N/A	N/A	N/A	None

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org

Inspection Requests: Online: www.mybuildingpermit.com VM: 206.275.7730



TREE SUBMITTAL CHECKLIST

If a box is checked, please provide the information in your next submittal

SUBMITTAL ITEMS

1. The Mercer Island Tree Inventory Form

- Provide the City's Mercer Island Tree Inventory Form

2. Arborist report/tree inventory

- Provide an Arborist report, prepared by a qualified Arborist. Include the following information in the arborist report.
 - 1. Description of how the arborist meets the threshold requirements for Qualified Arborist.
 - 2. A complete description of each tree's diameter, species, critical root zone, limits of allowable disturbance, health, condition, and viability.
 - 3. A description of the method(s) used to determine the limits of allowable disturbance (i.e., critical root zone, root plate diameter, or a case-by-case basis description for individual trees).
 - 4. Any special instructions specifically outlining any work proposed within the limits of disturbance protection areas (i.e. hand-digging, air space, tunneling, root pruning, any grade changes, clearing, monitoring, and aftercare).
 - 5. For trees not viable for retention, a description of the reason(s) for removal based on poor health, high risk of failure due to structure, defects, unavoidable isolation, windfirmness, unsuitability species, etc. If there is no reasonable alternative action (pruning, cabling, etc.) possible, replacement recommendations must be given.
 - 6. Describe the impact of necessary tree removal on the remaining trees, including those in a grove or on adjacent properties.
 - 7. Describe timing and installation of tree protection measures. Such measures must include fencing and be in accordance with the tree protection standards as outlined in MICC 19.10.
 - 8. The suggested location and species of replacement trees to be used when required. The report shall include planting and maintenance specifications to ensure long term survival.
 - 9. **A Tree Inventory** containing the following:
 - a. A numbering system of all existing large trees on the property (with corresponding tags on trees). The inventory shall also include large trees on adjacent property with driplines or critical root zones extending into the property.
 - b. Tree size (diameter). Where a tree splits into several trunks close to ground level, the dbh (Diameter at Breast Height) for the tree is the square root of the sum of the dbh for each individual stem squared (example with 3 stems: $dbh = \sqrt{(stem1)^2 + (stem2)^2 + (stem3)^2}$).
 - c. Proposed tree status (retained or proposed for removal).
 - d. Tree type or species.
 - e. Identify all Exceptional trees and differentiate between those less than 24 inches and those greater than or equal to 24 inches in diameter.
 - f. Brief general health or condition rating of each tree (i.e. poor, fair, good, etc.).

3. Site/tree retention plan

Indicate the following on all civil/utility and grading sheets. If there are no civil sheets indicate on the architectural site plan

- 1. Location of all proposed improvements (building footprint, access, utilities, buffers, required landscape areas).
- 2. Surveyed location of all large trees and Exceptional trees on the property
- 3. Show the critical root zone of Large trees on adjacent properties if driplines extend over the subject property line.
- 4. Trees labeled corresponding to the tree inventory numbering system on the Mercer Island Tree Inventory Form.
- 5. Identify Exceptional trees using different symbols for trees less than 24 inches and trees greater than or equal to 24 inches.
- 6. Location of tree protection measures.
- 7. Limits of excavation near potential saved trees (e.g. excavation limits for building foundation).
- 8. Indicate clearing limits/limits of disturbance (LOD) around all trees potentially impacted by site disturbances - grading, demolition, construction activities (including approximate LOD of off-site trees with overhanging driplines), etc.
- 9. Proposed tree status (trees to be removed or retained) noted by an 'X' for removal.

4. Replanting plan

- Provide the Replanting plan showing proposed locations of any required replacement trees.

PEER REVIEW AND CONFLICT OF INTEREST

A peer review of the tree permit application by a qualified arborist may be required to verify the adequacy of the information and analysis. **The applicant shall bear the cost of the peer review.**

The City Arborist may require the applicant retain a replacement qualified arborist or may require a peer review where the City Arborist believes a conflict of interest may exist.

For example, if an otherwise qualified arborist is employed by a tree removal company and prepares the arborist report for a development proposal, a replacement qualified arborist or peer review may be required.

ARBORIST QUALIFICATION

For tree reviews associated with a development proposal, a qualified arborist must have

- A minimum of three (3) years' experience working directly with the protection of trees during construction
- Have experience with the likelihood of tree survival after construction
- Be able to prescribe appropriate measures for the preservation of trees during land development
- ISA Tree Risk Assessment Qualification
- Your qualified arborists must have at least one (1) of the following credentials:
 - ISA Certified Arborist;
 - ISA Certified Arborist Municipal Specialist;
 - ISA Board Certified Master Arborist;
 - American Society of Consulting Arborists (ASCA) registered Consulting Arborist;
 - Society of American Foresters (SAF) Certified Forester for Forest Management Plans;

ADDITIONAL INFORMATION

Additional Information. The City Arborist or Code Official may require additional documentation, plans, or information as needed to ensure compliance with applicable City regulations.

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

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TREE INVENTORY & REPLACEMENT SUBMITTAL INFORMATION

EXCEPTIONAL TREES

Exceptional Trees- means a tree or group of trees that because of its unique historical, ecological or aesthetic value constitutes an important community resource. A tree that is rare or exceptional by virtue of its size, species, condition, cultural/historical importance, age, and/or contribution as part of a tree grove. Trees with a diameter of more than 36 inches, or with a diameter that is equal to or greater than the diameter listed in the Exceptional Tree Table shown in MICC 19.16 under Tree, Exceptional.

List the total number of trees for each category and the tree identification numbers from the arborist report.

Number of trees 36" or greater _____

List tree numbers: _____

Number of trees 24" or greater (including 36" or greater) _____

List tree numbers: _____

Number of trees from Exceptional Tree Table (MICC 19.16) _____

List tree numbers: _____

LARGE REGULATED TREES

Large Regulated Trees- means any tree with a diameter of 10 inches or more, and any tree that meets the definition of an Exceptional Tree.

Number of Large Regulated Trees on site _____ (A)

List tree numbers: _____

Number of Large Regulated Trees on site proposed for removal _____ (B)

List tree numbers: _____

Percentage of trees to be retained ((A-B)/Ax100) note: must be at least 30% _____ %

RIGHT OF WAY TREES

Right of Way Trees- means a tree that is located in the street right of way adjacent to the project property.

Number of Large Regulated Trees in right of way _____

List tree numbers: _____

Number of Large Regulated Trees in right of way proposed for removal _____

List tree numbers: _____

Reason for removal: _____

TREE REPLACEMENT

Tree replacement- removed trees must be replaced based on the ratio in the table below. Replacement trees shall be conifers at least six feet tall and or deciduous at least one and one-half inches in diameter at base.

Diameter of Removed Tree (measured 4.5' above ground)	Tree replacement Ratio	Number of Trees Proposed for Removal	Number of Tree Required for Replacement Based on Size/Type
Less than 10"	1		
10" up to 24"	2		
Greater than 24" up to 36"	3		
Greater than 36" and any Exceptional Tree	6		
TOTAL TREE REPLACEMENTS			

TREE PROTECTION AREA (TPZ)

KEEP OUT!

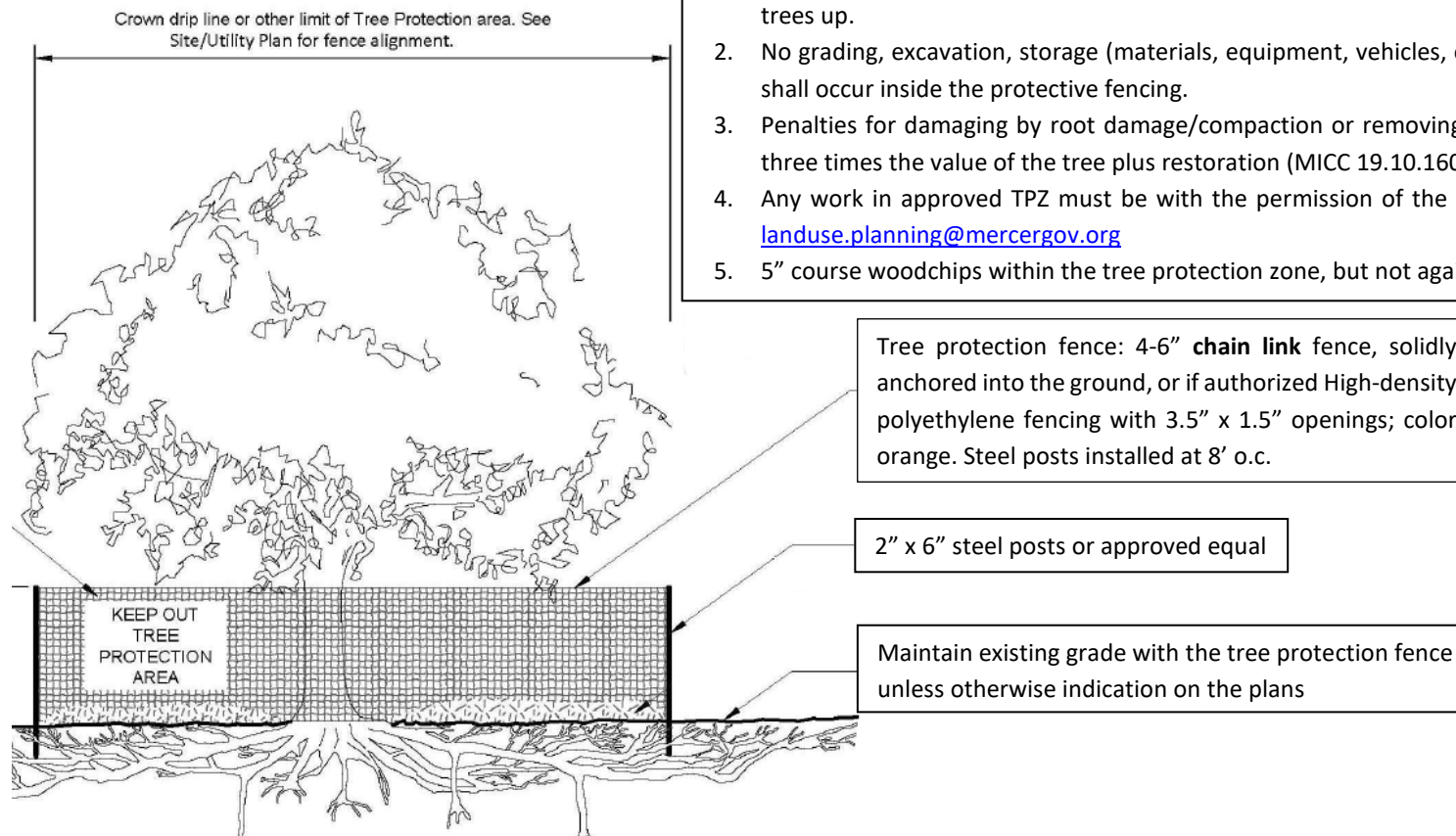
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
4. Any work in approved TPZ must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.



Any Work in the protected area must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org